

2.1 CONSTRUCTION PLAN REQUIREMENTS

2.1.1 General Comments

- A. This chapter contains information to assist the consultant in the preparation of all construction plans and documents to be submitted to the City of Goodyear for approval.
- B. All plans shall conform to the latest revised copy of the City “Engineering Design Standards and Policies Manual”.
- C. Any deviation from the City’s “Engineering Design Standards and Policies” requires prior approval by the Plan Review Supervisor.
- D. All construction plans for Grading and Drainage, Streets, Water, Sewer, and Storm Drains shall be prepared per the standards set forth in these guidelines.
- E. If any plan submitted is not in compliance or has in the plan reviewer’s opinion excessive corrections the review may not continue and will be returned to the owner. Any plan submitted for review, even if discontinued, will be counted as a plan review submittal.
- F. All plans and reports shall be accompanied by a completed “Check List for Engineering Plan Review” and City of Goodyear “Engineering Plan Review Fee Schedule.” The Final Signature cover sheet, when requested, shall be accompanied by a completed City of Goodyear “Construction Permit Fee Schedule.” See forms at the end of “Administrative Section.”
- G. Four (4) sets of Water Plans, three (3) sets of Sewer, Paving and Storm Drain Plans, and two (2) sets of Drainage Reports and Grading and Drainage Plans are required for each submittal. The corresponding number of sets of plans and City redlines are required for all other submittals.

2.1.2 Plan Submittal Sequence

See Table 1, “Administrative Section.”

Master Plan (site, drainage, water and sewer plans and others as requested by City of Goodyear) should be submitted first.

An approved Site Plan shall be included in or submitted with Drainage Report and/or Grading and Drainage Plan.

Drainage Report¹
Grading and Drainage Plan¹

Paving Plan² (including striping plan and soils report)
Storm Drain Plan²

Sewer Plan³
Water Plan³

Any plan submitted out of sequence shall not be reviewed and shall be returned to the owner to be resubmitted after prerequisite plans and reports have been approved or as a minimum be “Substantially Complete.” (Only the Plan Reviewer shall make the determination of “Substantially Complete” status.

¹ May be submitted simultaneously

² May be submitted simultaneously. In addition, the Paving Plans may be submitted with or following the Grading and Drainage Plans.

³ May be submitted simultaneously

2.1.3 Redline Comments

All City redline comments must be corrected or clarified. If there is a discrepancy concerning a redline comment please call the Plan Review staff at (602) 264-6424. Each redline set of plans shall be returned with the next plan submittal. Changes made to the plans or report, other than corrections noted in the City’s redlines, shall be listed in detail with the location in plans clearly stated. Failure to identify additional changes shall result in return of plans with an additional review required.

2.1.4 Approval of Plans

When in the opinion of the plan reviewer the plans meet the requirements for approval, a reproducible mylar cover sheet will be requested. When submitting the cover sheet, one (1) full set of plans and one ½ scale set of drawings shall be included. In addition, a completed, “Construction Permit Fee Schedule” shall be submitted for permit approval.

Prior to the City of Goodyear approval signature, all other reviewing agencies shall have signed the cover sheet, i.e. LPSCO and/or Maricopa County Environmental Service Department. If the agency does not sign the cover sheet, a letter of their approval shall accompany the cover sheet with the letter date and signing party noted on the cover sheet.

2.1.5 Basic Plan Requirements

A. General Submittal Standards

1. Plans submitted for review shall have the appropriate professional (State of Arizona) seal, signature, and date on each sheet.
2. Plans shall be prepared on a 24" x 36" sheet size, with a min. 2" left border and min. 1/2" border on other sides.
3. All infrastructure improvements (i.e., water, sewer, grading) shall be submitted on separate sheets. Exceptions to this are:
 - a. Storm drain and paving may be on the same sheet (separate fees apply for each utility).
 - b. Water and Sewer may be on the same sheet (separate fees apply for each utility).
4. Plans shall be drawn to the following drawing scales:

Type of Plan	Horizontal Scale	Vertical Scale
Grading and Drainage Plan	1 inch = 40 feet	
Water (including Key Map) and Sewer Plans	1 inch = 20 feet	1 inch = 4 feet
Paving and Storm Drain Plans	1 inch = 20 feet	1 inch = 2 feet

Unusual situations may warrant the use of a non-standard drawing scale. Prior approval of the Public Works Director, or his designee, is required.

5. Minimum lettering and numbering size shall be 3/16" for manually drafted or 1/8" for mechanically produced letters, numbers, and symbols. Lettering size of pertinent construction information shall be 10 point. Lettering size of informational and supplemental information (i.e. property line dimensions) shall be 8 point. Lettering, numbering, and line work must be uniform and with clear definition to be retrievable after microfilming.
6. Plans shall be of a quality to allow microfilming. (i.e. line weight and letter size shall be easily read when reduced by 50%.) NOTE: Plans which in the opinion of City staff

cannot produce usable microfilm will not be accepted for review.

7. Plans shall be drawn with the drafting symbols presented in Maricopa Association of Governments Uniform Standard Details for Public Works Construction.
8. Plans submitted to the City for review shall be blue-line or blackline prints.
9. Plans submitted to the City for approval shall be original mylar drawings or photo-mylar copies of original drawings.
10. A master utility plan at 1 inch = 100 feet shall be submitted with the final construction plans. (This plan will also be updated with the "As-Built Drawings".)
11. Plans submitted for review shall be accompanied by an approved site plan, or preliminary plat, as applicable.
12. Incomplete submittal may result in rejection (i.e. nonconformance with this manual). The rejection of plans may count as a review. The next submittal may require payment of additional review fees.

2.1.6 Cover Sheet

- A. Cover Sheet Format and Information (See City of Goodyear Exhibit No. 7)
- B. An individual cover sheet with the following information is required for each type of improvement plan:
 1. Project name and description
 2. City Name: Below the title, include the words "Goodyear, Arizona".
 3. Developer's name, address, and telephone number
 4. Consultant's name, address, and telephone number
 5. Engineer's seal and signature (This is to be affixed on each sheet.)
 6. Vicinity map showing the project's location within the City limits (See City of Goodyear Exhibit No. 1)

7. Legal Description: Provide project property legal description. When a legal description is not feasible, list the township, range, section, and location.
8. Project Benchmark
Approved City benchmarks shall be used. (In areas that have been Master Planned and partially developed using a different elevation datum, the City Engineer may approve a project datum. If a project datum is approved, an equation to City datum shall be provided on each sheet of the plans.)
9. Additional Information
 - a. Include the following additional information on the cover sheet. (See City of Goodyear Exhibit No. 7)
 - (1) Approval block for signatures. (See City of Goodyear Exhibit No 6.)
 - (2) City project number or case number in border along right edge - 1/4" minimum lettering size. To be assigned at first review and shall be placed on all subsequent reviews by design engineer.
 - (3) City of Goodyear, General Construction Notes, as applicable.
 - (4) "Key-Map" shall be provided on multi-sheet plans to relate plan sheets to project locations and type of improvements. "Key-Map" scale shall be 1" = 20 feet horizontal. "Key-Map" scale must be sufficient to show all required information clearly (i.e. valves, fire hydrant, manholes, street signs, and drainage arrows). This may be shown on a Detail Sheet instead of the Cover Sheet.)
 - (5) Sheet Index.
 - (6) Estimate of Quantities (for work in public rights-of-way or easements) with construction items shown in units as required in the right-of-way permit fee schedule. If the project is to be developed in phases, the estimate of quantities shall indicate quantities for each phase.

A detailed, certified cost estimate shall be submitted for approval by the City.

- (7) Utility system ownerships.
- (8) Other agency approvals as required.
- (9) Zoning as it currently exists on the property.
- (10) Legend - for symbols, non-standard abbreviations, etc.
- (11) "Blue-Stake" note is required on all plans which include excavation of any type.

2.1.7 Detail Sheet

- A. A separate detail sheet may be provided at the discretion of the Consultant or when required by the City.
- B. The following information is required:
 - 1. General Notes, as directed in Section 2.1.6, shall be shown on this sheet.
 - 2. A typical cross section shall be shown for each street in street construction plans. The information required on a typical section is:
 - a. Dimensions
 - b. Street centerline and right-of-way line
 - c. MAG Standard Details and Specification
 - d. Pavement structural design
 - e. Trim and match to existing street
 - f. Existing and proposed utilities
 - g. Landscaped areas
 - 3. Special construction details as required shall be provided. Typically this would include:
 - a. Modification or relocation detail for existing irrigation structures.

- b. Special construction required where utility locations conflict.
- c. Others determined by the Consultant and/or the City as needed to clarify construction. Presentation of Design and Construction Information

C. General

1. Plan layout, graphics, and call-outs must be clearly presented in an uncluttered manner acceptable to the Plan Review Department and Public Works Director, or his designee.
2. Callout shall be boxed narrative text call-outs (See City of Goodyear Exhibit No. 8)

Numeric style call-outs shall only be used with prior approval of the Public Works Director, or his designee. When used each number shall relate to the same topic for the entire set of plans and narrative call-outs shall be grouped and clearly shown on every page that the callout is used. Stationing and offset shall accompany every applicable callout number (See Exhibit No. 8).

3. Plans shall show only one utility (i.e. water, sewer, storm drain, grading and drainage, or paving) on the plans at a time, in bold, for review. All other infrastructure, existing and future, shall be shown lighter (smaller pen width or dashed) for reference only (minimum bold line weight: 0.70 mm; minimum light line weight: 0.30 mm). Exceptions to this are:
 - a. Storm drain and paving may be on the same sheet (separate fees apply for each utility).
 - b. Water and Sewer may be on the same sheet (separate fees apply for each utility).
4. Plans shall provide cross-referencing between all sheets which have details, detail call-outs, notes, etc.
5. Plans shall be oriented with north at the top or right side of each sheet whenever possible. A north arrow and bar scale shall be provided.

D. “As-Built”

1. Mylar drawings are required to be provided to the City for “As Building” of construction within public rights-of-way or within easements dedicated to the City. Only original (4 mil) mylar drawings or photographic (4 mil) mylars are acceptable. Digital Mylars are an acceptable alternate if submitted with a disk or CD copy.

2.1.8 Reports and Other Documents

A. Reports and other submitted documents must include the following:

1. All reports and documents shall have the appropriate (State of Arizona) professional seal, signature, and date.
2. All reports and documents shall be provided on 8-1/2” x 11” format. Larger size exhibits may be included, provided they are secured inside.

2.1.9 “Special Plan” Requirements

A. Haul Route Plan/Permit

1. Estimated dirt hauls of 5,000 cubic yards or more that require use of the public right-of-way shall obtain a “Haul Route/Encroachment Permit”.
2. Estimated dirt hauls of less than 5,000 cubic yards may require a “Haul Route/Encroachment Permit” as determined by the City Public Works Director, or his designee.
3. The Public Works Director, or his designee, will stipulate, review, and approve:
 - a. Haul routes
 - b. Allowed travel times
 - c. Traffic control requirements
 - d. Dust control requirements
 - e. Restoration procedures
 - f. Safety procedures
 - g. Possible additional requirements

- B. Traffic Control Plans
The Public Works Director, or his designee, will stipulate, review and approve all traffic control plans for construction. An approved traffic control plan shall be required prior to any traffic control device installation within the Public Right-of-Way.

2.1.10 Plan View Only Sheets

- A. Plan view only is allowed for construction plans for:
1. Minor collector and interior streets in undeveloped areas
 2. Grading and Drainage Plan with supplemental cross sections as needed to explain drainage
 3. Water line plans for new subdivisions with pipe size under twelve (12) inches in diameter
 4. Street light plans
- B. The following information is required:
1. Plan view shall be oriented such that north is either at the top or the right side of the sheet. North shall be clearly indicated for each plan view.
 2. The drawing scale shall be clearly indicated for each plan view, and a graphic scale at least 2 inches long or 100 scale feet, shall be placed adjacent to each north arrow.
 3. All existing topography shall be shown. Typically this will include:
 - a. Existing contours with adequate spot elevations to show drainage
 - b. Existing utilities - aerial and underground
 - c. Existing irrigation facilities
 - d. Adjacent land uses
 - e. City limits where applicable
 - f. 100 year floodplain limits where applicable
 - g. 100 year floodway limits where applicable
 4. Existing and proposed right-of-way, easements, view-easements and property lines. Dimensions of these shall be clearly indicated.

5. Drafting and lettering of new construction shall be sufficiently heavier (darker) than existing topography so as to allow it to be quickly and clearly identified.
6. New construction notes SHALL BE BOXED so that they contrast with general information notes.
7. New drainage slopes may be shown as a percentage of slope or in foot per foot change of grade.
8. Grade breaks shall be clearly shown.
9. "Blue Stake" notes shall be provided on each sheet.

2.1.11 Plan and Profile Sheets

- A. Plan and Profile are required for construction plans for:
 1. All arterial and secondary collector streets plus other streets when longitudinally matching existing streets.
 2. Water line plans for construction within existing streets.
 3. Water line plans for construction with pipe size twelve (12) inches in diameter or greater.
 4. All sewer line plans
 5. All effluent line plans
- B. The following information is required:
 1. Plan view shall be prepared in accordance with 2.1.11
 2. Profile view shall show the following:
 - a. Elevation and stationing grid clearly indicated.
 - b. Profile of existing surface over proposed construction.
 - c. Existing utility crossings.
 - c. Proposed construction (i.e. elevations, slopes, grade breaks).
 4. New construction notes SHALL BE BOXED so as to contrast with general information notes.
 5. Where the sanitary sewer is approved to be less than five feet deep, the proposed water line shall be indicated in profile by

a "ghost" line, and the building sewers shall be plotted at the locations and inverts where they cross the water line. The MAG Std. Detail 404 shall be called out, when needed, on both plan and profile.

- C. Double plan and profile shall only be permitted with written approval by the Plan Review Department or the Public Works Director, or his designee.

- 2.1.12 ALL plans for construction within City right-of-way or easements shall have the following shown on either the Cover Sheet or the Detail Sheet.

CITY OF GOODYEAR
GENERAL NOTES FOR CONSTRUCTION

- A. All construction shall conform with the latest MAG standard Details and Specifications and the City's Supplemental Details and Specifications.
- B. This set of plans has been reviewed for compliance with City requirements prior to issuance of construction permits. However, such review shall not prevent the City from requiring correction of errors in plans found to be in violation of any law or ordinance.
- C. The City does not warrant any quantities shown on these plans.
- D. The City approval is for general layout in the right-of-way only. This approval is valid for a period of one year. Construction permits shall be obtained during this period or the plans shall be resubmitted for review and approval.
- E. An approved set of plans shall be available on the job site at all times.
- F. The City shall be notified 24 hours prior to any construction work and inspections. (932-1637) Construction work concealed without inspection by the City shall be subject to exposure at the contractor's expense.
- G. Right-of-way improvements shall not be accepted until "As-Built" plans have been submitted and approved by the City. (See as-built requirements)
- H. The developer is responsible for the removal or relocation of all obstructions within the right-of-way prior to starting new construction.
- I. The developer is responsible for arranging the relocation and associated costs of all utilities. A utility relocation schedule shall be submitted prior to the issuance of permits.
- J. The developer is responsible for obtaining or dedicating all required rights-of-way and easements to the City prior to issuance of permits.
- K. The contractor shall contact BLUE STAKE (263-1100) at least 48 hours prior to construction.
- L. The contractor shall barricade construction sites at all times per the City of Phoenix Traffic Barricade Manual. When required by the City, a traffic control plan shall be submitted for approval in advance of construction.
- M. The contractor may request a fire hydrant meter for construction water from the Finance Department. This meter should be ordered two working days prior to the start of construction. The unlawful removal of water from a fire hydrant is a violation of the municipal code, punishable by fine and/or imprisonment.
- N. Private on-site water and sewer lines shall be constructed in accordance with the Uniform Plumbing Code, N.F.P.A. and the Uniform Fire Code as adopted by the City.

- 2.1.13 All plans for street construction within right-of-way or easements shall have the following shown on either the Cover Sheet or the Detail Sheet.

CITY OF GOODYEAR

GENERAL NOTES FOR STREET CONSTRUCTION

- A. All construction shall be in accordance with current MAG specifications and standard details.
- B. Contractor shall obtain all necessary permits prior to construction.
- C. City of Goodyear inspectors shall be notified 24 hours prior to starting each phase of construction, and each inspection requested (932-1637).
- D. Any work performed without the approval of the City Engineer, and any work/material not in conformance with the specifications is subject to removal and replacement at the contractor's expense.
- E. Contractor will expose any lines being tied into to verify location.
- F. Construction shall have all existing underground utilities located (Bluestake - 263-1100) and shall eliminate all conflicts prior to construction.
- G. City of Goodyear is not liable for delays nor damages to utilities related to this construction; neither will the City participate in the cost of utility construction nor relocation.
- H. As-built drawings (one set mylars and two sets of prints), certified by the subdivider's engineer, shall be submitted to and accepted by the City Engineer before final acceptance of the work. (See as-built requirements.)
- I. Contractor shall continuously reference location of all valves during construction.
- J. All underground utilities located in the roadway shall be completed before paving.
- K. Base course shall not be placed until subgrade has been approved by City Engineer.
- L. Gutters shall be water tested for drainage in the presence of the City Engineer.
- M. Exact point of matching termination and overlay shall be determined in the field by the City Engineer.
- N. Curb, gutter, sidewalk, and pavement shall be swept clean of dirt and debris.
- O. Contractor shall provide dust control to the satisfaction of the City Engineer. The Contractor shall obtain an air pollution permit from the Maricopa County Air Pollution Control.
- P. Contractor is to install a blue reflector at all fire hydrant locations. Reflector to be glued to the finished paving at the specified location. (See Section 5.1 Potable Water System Design and Detail G-3212)

- 2.1.14 All plans for water main construction within right-of-way or easements shall have the following shown on either the Cover Sheet or the Detail Sheet.

CITY OF GOODYEAR
GENERAL NOTES FOR WATER MAIN CONSTRUCTION

- A. All Construction shall be in accordance with current MAG specification and standard details.
- B. Contractor shall obtain all necessary permits prior to construction.
- C. City of Goodyear inspectors shall be notified 24 hours prior to starting each phase of construction, and each inspection requested (932-1637).
- D. Any work performed without the approval of the City Engineer and any work/material not in conformance with the specifications is subject to removal and replacement at the contractor's expense.
- E. Contractor will expose any lines being tied into to verify location.
- F. Contractor shall have all existing underground utilities located (BLUE STAKE-263-1100) and shall eliminate all conflicts prior to construction.
- G. City of Goodyear is not liable for delays nor damages to utilities related to this construction; neither will the City participate in the cost of utility construction nor relocation.
- H. As-Built drawings (one set mylars and two sets of prints), certified by the subdivider's engineer, shall be submitted to and accepted by the City Engineer before final acceptance of the work.
- I. Backfilling shall not be done until lines are inspected and approved by the City Engineer.
- J. Valves shall be furnished and installed by the contractor according to MAG and C.O.G supplements. Approved valves list is available at the Public Works Department.
- K. Back flow preventor shall be furnished and installed by the contractor according to MAG and C.O.G. supplements. Approved valves list is available at the Public Works Department.
- L. Fire hydrants shall be furnished and installed by the contractor, and shall be painted chrome yellow after installation. Approved fire hydrant list is available at the Public Works Department
- M. All service lines shall be type K copper pipe or tubing. The minimum size service shall be one-inch. Service lines shall be continuous under pavement without a connection or extension.
- N. All taps shall use all bronze double strap service saddle.
- O. Developer is to install all taps and meter boxes. The tap shall terminate with an angle meter valve within the box set 6 inches behind the sidewalk and 8 inches below the back of the sidewalk. The meter box shall be set flush to the ground at the back of the sidewalk and at property line where sidewalks do not exist. The meter box and lid shall be cast iron Ford Meter Box Model No. YM HC 241-243-T-G for 1 inch service and FPMB-7-T for 1 1/2 inch or two inch service suitable for the installation of a Sensus Touch Read Model meter.
- P. Meters shall be furnished and installed by utility agency. All meters shall be Sensus Touch Read Model.

- Q. Pavement replacements shall be made to MAG standard details.
- R. All water service connections shall be extended a sufficient distance across right-of-way to clear all facilities to be installed in public utility easements paralleling street right-of-way.
- S. Fire hydrant pumper connection covers shall be painted in accordance City standards (See Detail G-3330).

- 2.1.15 All plans for sewer main construction within right-of-way or easements shall have the following shown on either the Cover Sheet or the Detail Sheet.

CITY OF GOODYEAR

GENERAL NOTES FOR SEWER MAIN CONSTRUCTION

- A. All Construction shall be in accordance with current MAG specification and standard details.
- B. Contractor shall obtain all necessary permits prior to construction.
- C. City of Goodyear inspectors shall be notified at (932-1637) 24 hours prior to starting each phase of construction and each inspection requested.
- D. Any work performed without approval of the city engineer, and any work/material not in conformance with the specifications is subject to removal and replacement at the contractor's expense.
- E. Contractor will expose any lines being tied into to verify location.
- F. Contractor shall have all existing underground utilities located (BLUE STAKE-263-1100) and shall eliminate all conflicts prior to construction.
- G. City of Goodyear is not liable for delays nor damages to utilities related to this construction; neither will the City participate in the cost of utility construction nor relocation.
- H. As-Built drawings (one set mylars and two sets of prints), certified by the subdivider's engineer, shall be submitted to and accepted by the City Engineer before final acceptance of the work.
- I. Backfilling shall not be done until lines are inspected and approved by the City Engineer.
- J. Pavement replacements shall be made to MAG standard details.
- K. PVC sewer pipe may be used as an alternative for vitrified clay sewer pipe in accordance with MAG specification Section 745 for sizes through 15-inch with the following addition: 745.8 installation and testing: installation must also comply with standard specification (ASTM D 2321.) Short term deflection testing shall be performed on the total footage, after complete backfill and compaction, but prior to the installation of finish surface material. Additional testing may be required. A short term deflection in excess of 5 percent shall be considered unserviceable and shall be repaired or replaced and retested.
- L. A visual inspection of the interior of the sewer line using a television camera will be performed on the total footage of all sewer lines, after complete backfill and compaction, but prior to the installation of finish surface material. Any portion considered unserviceable by the City shall be repaired or replaced at no additional cost to the City and retested. A VCR tape of the sewer line and report of observations shall be provided to the City for inspection and permanent record. All expenses for visual inspection using television camera is the responsibility of the contractor.
- M. All manhole rings and lids to be cast iron, lids to be imprinted "CITY OF GOODYEAR SANITARY SEWER".
- N. All taps shall be wye type.
- O. Sewer taps should be min. 4.5' deep at property line.

- P. All sewer service connections shall be extended a sufficient distance across right-of-way to clear all facilities to be installed in public utility easements paralleling the right-of-way.

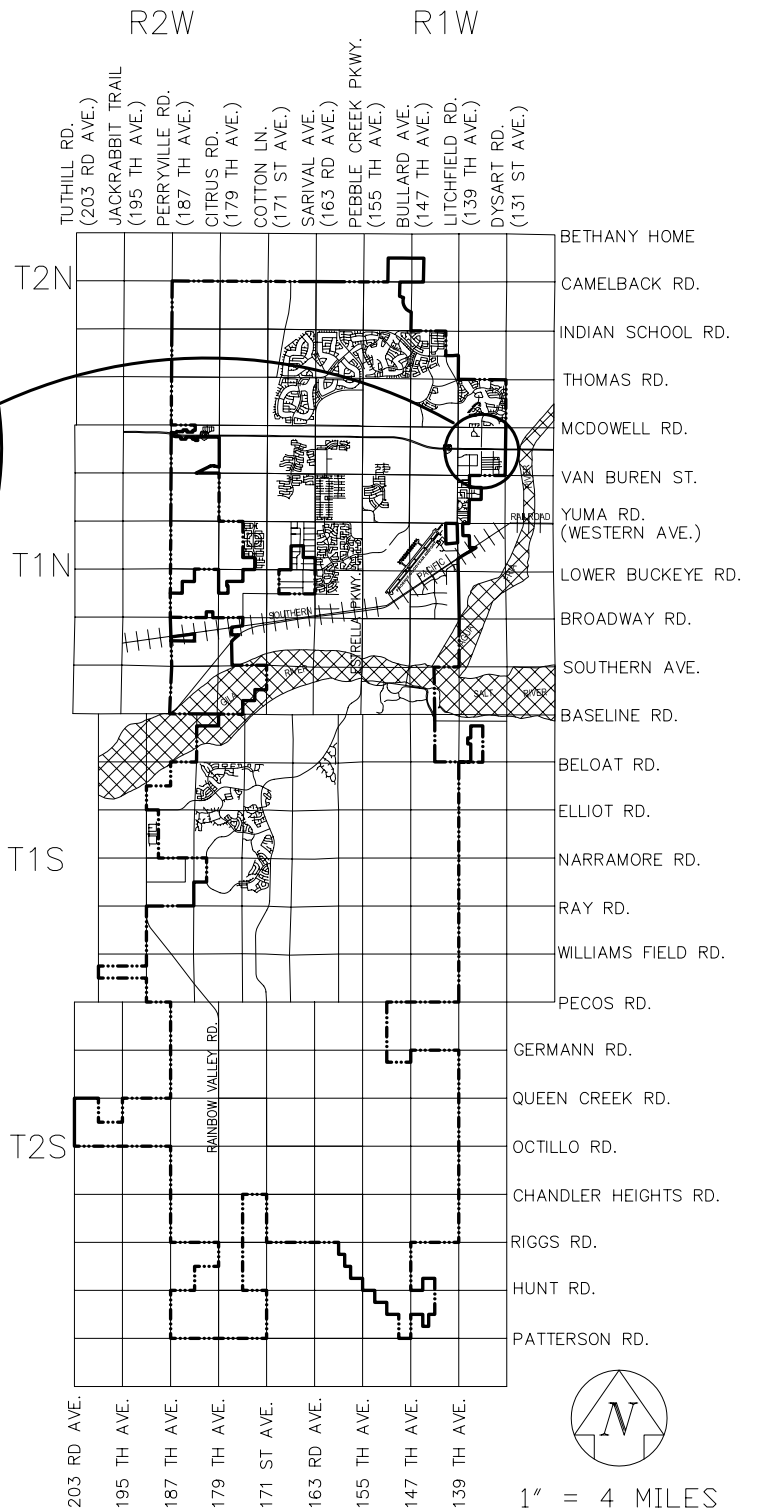
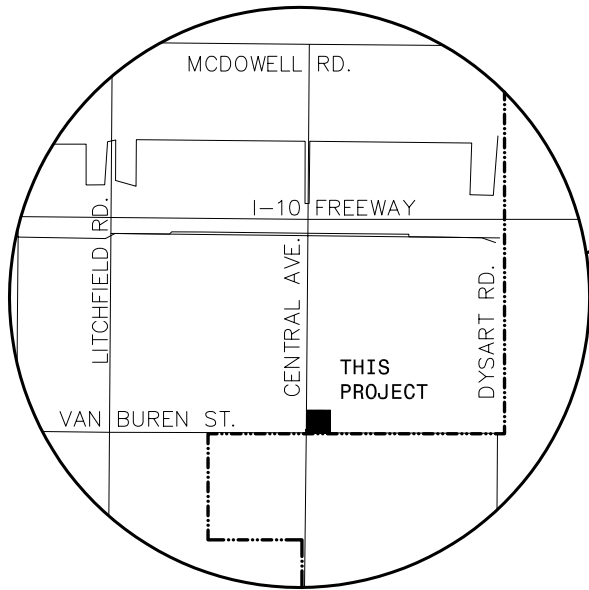
- 2.1.16 All plans for on-site Grading and Drainage construction shall have the following shown on either the Cover Sheet or the Detail Sheet.

CITY OF GOODYEAR

GENERAL NOTES FOR GRADING AND DRAINAGE CONSTRUCTION

- A. An on-site grading permit is required.
- B. A separate permit is necessary for any off-site construction.
- C. City of Goodyear inspectors shall be notified at (932-1637) 24 hours prior to starting each phase of construction and each inspection requested.
- D. Finish floor elevations shall be a minimum of 14" above point of outfall. Carport elevations shall be 4" below finish floor elevation. Lots shall be designed to the street at a grade no less than 1.0%.
- E. Staking pad and/or finished floor elevations are the responsibility of the developer or his engineer. In a critical drainage area (FEMA Zones A, AO, AH, A1-A33, and A99), certification of the finished building floor or stem wall elevation shall be submitted and approved prior to any vertical construction. In non-critical areas, the developer's engineer shall submit certifications of constructed building pad elevations prior to the City's acceptance of project.
- F. The grading contractor shall designate the location for wasting spoil materials and a letter from the owner giving permission for said disposal prior to starting on-site construction.
- G. Grading and drainage plan approval includes: construction of drainage plan including, but not limited to, retention and detention areas and/or other drainage facilities, surface grading, walls, curbs, asphalt pavement, and building floor elevations.
- H. The contractor shall provide all retention and detention basins at elevations as shown on the plans. Retention basins side slope shall not exceed 4:1 on private property or 6:1 adjacent to public right-of-way. Retention basins shall not exceed 3 foot depth on private property or 1.5 foot depth within 10 feet of public right-of-way.
- I. The contractor is responsible for locating and confirming depth of all the existing utility lines within proposed retention basin areas. If the basin cannot be constructed per plan as a result of conflict with underground utilities, the contractor should contact the City and designer and request modification of the basin design.
- J. This set of plans has been reviewed for compliance with City requirements prior to issuance of construction permits and shall be kept at the construction site. Such review shall not prevent the City from requiring correction of errors in plans which are found to be in violation of any law or ordinance.
- K. You are hereby advised that no person shall use any mechanical equipment for land leveling or clearing, road construction, trenching, excavating, demolition or engage in any earthmoving activity without first obtaining a permit from Air Pollution Control, Maricopa County Department of Health Service's 1001 N. Central Ave., Ste. 150, Phoenix, AZ 85003, Phone: 506-6666. (This notice is issued pursuant to A.R.S. 36-779.07, Notice of Building Agencies.)

- L. “As Built” drawings (one set mylars 2 sets of prints), certified by the developer's engineer, shall be submitted and approved prior to issuance of a building "Certificate of Occupancy".



VICINITY MAP

REQUIRED ON:

APPROVAL BLOCK

ALL PLANS:	Approval block as shown on sheet 2
ALL PLANS:	<p>"I HEREBY CERTIFY THAT THIS DESIGN IS BASED ON ACCURATE FIELD DATA WHICH HAS BEEN CHECKED IN THE FIELD PRIOR TO SUBMISSION FOR CITY APPROVAL. "</p> <p>BY: _____ DATE _____</p>
ALL PLANS: AS- BUILT APPROVAL:	<p>"AS- BUILT CERTIFICATION"</p> <p>I CERTIFY THAT THE "AS- BUILT" INFORMATION SHOWN HEREON WAS OBTAINED UNDER MY DIRECT SUPERVISION AND IS CORRECT AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF.</p> <p>NAME _____ (SEAL) REGISTRATION NO. _____ DATE _____ REVIEWED BY: _____ FIELD ENGINEERING</p>
WATER & SEWER PLANS:	<p>BY: _____ DATE _____</p> <p>MARICOPA COUNTY ENVIROMENTAL SERVICES DEPT.</p>
FINAL PLATS:	<p>APPROVED BY THE CITY COUNCIL OF THE CITY OF GOODYEAR, ARIZONA THIS ____ DAY OF _____, 20__.</p> <p>BY: _____ ATTEST: _____ MAYOR (NAME PRINTED) CITY CLERK (NAME PRINTED)</p>

CITY OF GOODYEAR			
REVIEW AND RECOMMENDED APPROVAL BY:			
FIRE DEPT.		GRADING & DRAINAGE	
LANDSCAPING & PLANNING		WATER & SEWER	
TRAFFIC		PAVING	
APPROVED BY: <div style="display: flex; justify-content: space-between; border-top: 1px solid black; margin-top: 20px;"> PROJECT REVIEW SR. ENGINEER DATE </div>			

RE- APPROVAL	
REVIEW AND RECOMMENDED APPROVAL BY:	
<div style="display: flex; justify-content: space-between; border-top: 1px solid black; margin-top: 20px;"> PLAN REVIEWER DATE </div>	
APPROVED BY: <div style="display: flex; justify-content: space-between; border-top: 1px solid black; margin-top: 20px;"> PROJECT REVIEW SR. ENGINEER DATE </div>	

LANDSCAPE PLAN APPROVED CITY OF GOODYEAR		
<div style="border-top: 1px solid black; margin-top: 20px;">HTE NO.</div>	<div style="border-top: 1px solid black; margin-top: 20px;">APPROVAL BY:</div>	<div style="border-top: 1px solid black; margin-top: 20px;">DATE</div>
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ANY AND ALL DEVIATION WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATION TO BE APPROVED BY CITY OF GOODYEAR INSPECTION SERVICES BEFORE CERT. OF OCCUPANCY IS ISSUED.		

XYZ SUBDIVISION SEWER IMPROVEMENT PLANS GOODYEAR, ARIZONA

CITY OF GOODYEAR
GENERAL NOTES

VCINITY MAP

OWNER/DEVELOPER
NAME, ADDRESS
TELEPHONE NUMBER

ZONING

UTILITY COMPANIES

LEGAL
DESCRIPTION

ARCHITECT
NAME, ADDRESS
TELEPHONE NUMBER

SHEET INDEX

BENCHMARK

QUANTITIES

MARICOPA COUNTY
HEALTH DEPT. APPROVAL

ENGINEERING COMPANY
NAME, ADDRESS
TELEPHONE NUMBER

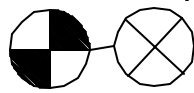
CITY OF GOODYEAR			
REVIEW AND RECOMMENDED APPROVAL BY:		SEAL	
DATE	SIGNATURE	DATE	SIGNATURE
APPROVED BY:			

SEAL
AND
SIGNATURE

City of
Goodyear
H.T.E. #
00-0000

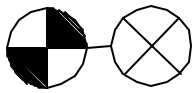
XYZ SUBDIVISION SEWER PLANS

SHEET NO.



STA. 73+50 20' RT.
 12" X 6" FLG. SQ. TEE
 6" FLG. X MJ VALVE W/ B&C(A)
 10' D.I. PIPE
 6" FIRE HYDRANT

STANDARD NOTE CALLOUT FOR PLANS



③ STA. 73+50
 20' RT.

③ 12" X 6" FLG. SQ. TEE
 6" FLG. X MJ VALVE W/ B&C(A)
 10' D.I. PIPE
 6" FIRE HYDRANT

Call out note shall clearly appear on every sheet the call out appears.
 Call out and note shall be the same for the entire set of plans.

ALTERNATIVE NOTE CALLOUT FOR PLANS*

*Prior written approval of the Public Works Director
 and Plan Review Supervisor required.